



**PEARL'S PLACE
PLANNED DEVELOPMENT NO. 78
BASE ZONING DISTRICT: SF-4 SINGLE FAMILY
RESIDENTIAL
ORDINANCE NO. 25-09-18-39
(ADOPTED 9-18-2025)**

City of Corinth ▪ 3300 Corinth Parkway ▪ Corinth, Texas 76208
940-498-3200 ▪ 940-498-7576 Fax ▪ www.cityofcorinth.com

**CITY OF CORINTH, TEXAS
ORDINANCE NO. 25-09-18-39
PEARL'S PLACE PLANNED DEVELOPMENT DISTRICT #78**

AN ORDINANCE OF THE CITY OF CORINTH, TEXAS, AMENDING THE CITY'S ZONING ORDINANCE AND THE "OFFICIAL ZONING DISTRICT MAP OF THE CITY OF CORINTH, TEXAS," EACH BEING A PART OF THE UNIFIED DEVELOPMENT CODE OF THE CITY OF CORINTH, BY AMENDING THE ZONING CLASSIFICATION FOR AN APPROXIMATE ±13.060 ACRES OF LAND SITUATED IN THE WILLIAM WILSON SURVEY, ABSTRACT NUMBER 1383, AND THE BROOKS BEALL SURVEY, ABSTRACT NUMBER 58, DENTON COUNTY, TEXAS, AS MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A" HEREIN (THE "PROPERTY"), FROM SF-2 SINGLE FAMILY RESIDENTIAL (DETACHED) TO PD-PLANNED DEVELOPMENT ZONING DISTRICT WITH A BASE ZONING DESIGNATION OF SF-4 SINGLE FAMILY RESIDENTIAL (DETACHED) AND IDENTIFIED AS PEARL'S PLACE PLANNED DEVELOPMENT DISTRICT NO. 78 ("PD-78"); PROVIDING FOR THE INCORPORATION OF PREMISES; PROVIDING A LEGAL PROPERTY DESCRIPTION (EXHIBIT "A") AND AMENDMENT; PROVIDING A GRAPHIC DEPICTION OF THE PROPERTY (EXHIBIT "B"); APPROVING A PLANNED DEVELOPMENT DESIGN STATEMENT (EXHIBIT "C"); APPROVING PLANNED DEVELOPMENT STANDARDS (EXHIBIT "D"); APPROVING A PD CONCEPT PLAN (EXHIBIT "E"); APPROVING A CONCEPTUAL LANDSCAPE PLAN (EXHIBIT "F"); APPROVING A PRELIMINARY TREE PRESERVATION PLAN (EXHIBIT "G"); AND APPROVING REPRESENTATIVE ELEVATIONS (EXHIBIT "H"); PROVIDING FOR A PENALTY NOT TO EXCEED \$2,000 A DAY FOR EACH VIOLATION OF THE ORDINANCE AND A SEPARATE OFFENSE SHALL OCCUR ON EACH DAY THAT A VIOLATION OCCURS OR CONTINUES; PROVIDING A CUMULATIVE REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS/CONFLICT CLAUSE; PROVIDING FOR PUBLICATION AND AN EFFECTIVE DATE.

WHEREAS, the City of Corinth, Texas has adopted a Unified Development Code of the City as part of its Code of Ordinances, which includes the Comprehensive Zoning Ordinance and which, in accordance with the City's Comprehensive Plan, establishes zoning districts and adopts a Zoning Map; and

WHEREAS, the approximate ±13.060 acres of land situated in the William Wilson Survey, Abstract Number 1383, and the Brooks Beall Survey, Abstract Number 58, Denton County, Texas, as more specifically described in **Exhibit "A"** hereto (the **"Property"**), is currently zoned as SF-2 Single Family Residential (Detached) under the City's Unified Development Code and as designated on the City's Zoning Map; and

WHEREAS, an authorized person having a proprietary interest in the Property has requested a change in the zoning classification of said Property to PD-Planned Development zoning district with a base zoning district of SF-4 Single Family Residential (Detached) under the City's Unified Development Code ("UDC"), more specifically identified as Pearl's Place Planned Development District No. 78 ("PD-78"); and

WHEREAS, the City Council and the Planning and Zoning Commission of the City of Corinth, having given the requisite notices by publication and otherwise, and each, held due hearings and afforded a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof; and

WHEREAS, the Planning and Zoning Commission has recommended approval of the requested change in zoning to the Property, and the City Council has determined that the Property has unique characteristics and that zoning through a planned development district is the most appropriate zoning for the Property, thus an amendment to the Comprehensive Zoning Ordinance and the Zoning Map of the City's Unified Development Code, in accordance with the standards and specifications set forth herein, including without limitation the Planned Development Standards set forth in **Exhibit "D"** should be approved; and

WHEREAS, the City Council considered the following factors in making a determination as to whether the requested change should be granted or denied: safety of the motoring public and pedestrians using the facilities in the area immediately surrounding the sites; safety from fire hazards and damages; noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of neighborhoods; location, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for on and off-street parking facilities; location of ingress and egress points for parking and off-street loading spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; effect on the over-crowding of the land; effect on the concentration of population, and effect on transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the proposed district and its suitability for the particular use requested and the view to conserve the value of surrounding properties, and encourage the most appropriate use of the land throughout this City; and

WHEREAS, the City Council finds that the requested Amendment to the City's Comprehensive Zoning Ordinance and Zoning Map to effect the change in zoning for the Property to PD-78 promotes the health and the general welfare, provides adequate light and air, prevents the over-crowding of land, avoids undue concentration of population, and facilitates the adequate provision of transportation, water, sewerage, schools, parks and other public requirements; and the general health, safety and welfare of the community;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CORINTH, TEXAS:

**SECTION 1.
INCORPORATION OF PREMISES**

The above and foregoing recitals constitute legislative findings of the City Council, are true and correct and are incorporated into the body of this Ordinance for all purposes.

**SECTION 2.
LEGAL PROPERTY DESCRIPTION; AMENDMENT**

That the Unified Development Code of the City of Corinth ("UDC"), which UDC includes the Comprehensive Zoning Ordinance that establishes zoning districts in accordance with the City's Comprehensive Plan, and

adopts the Zoning Map of the City of Corinth, is hereby amended to change the zoning classification on an approximate ±13.060 acres of land situated in the William Wilson Survey, Abstract Number 1383, and the Brooks Beall Survey, Abstract Number 58, Denton County, Texas, and more specifically described in **Exhibit “A,”** attached hereto and incorporated herein (the **“Property”**) and as depicted in **Exhibit “B,”** attached hereto and incorporated herein (the **“Graphic Depiction”**), from SF-2 Single Family Residential (Detached) to PD-Planned Development Zoning District with a base zoning designation of SF-4 Single Family Residential (Detached) and identified as Pearl’s Place Planned Development District No.78 (**“PD-78”**). The Zoning Map of the City is also hereby amended to reflect the new zoning classification for the Property as PD-78 in accordance with this Ordinance.

SECTION 3.

PLANNED DEVELOPMENT DESIGN STATEMENT AND CONCEPT PLAN

The Planned Development Design Statement for the Property as set forth in **Exhibit “C,”** (the **“PD Design Statement”**), a copy of which is attached hereto and incorporated herein and the Planned Development Concept Plan for the Property as set forth in **Exhibit “E,”** (the **“PD Concept Plan,”**), a copy of which is attached hereto and incorporated herein, are each hereby approved.

SECTION 4.

ADDITIONAL ANCILLARY CONCEPTUAL PLANS

Additional ancillary conceptual plans apply to the Property and shall be adhered to in the development and use of the Property. Such additional and ancillary conceptual plans are set forth in the Conceptual Landscape Plan (**“Exhibit F”**), Preliminary Tree Preservation Plan (**“Exhibit G”**), and Representative Elevations (**“Exhibit H”**) and are collectively herein referred to as the **“Ancillary Conceptual Plans”**. The Ancillary Conceptual Plans are attached hereto and incorporated herein.

SECTION 5.

LAND USE REGULATIONS/ZONING MAP

A. Land Use Regulations. The zoning and **Planned Development Standards** set forth in **Exhibit “D,”** attached hereto and made a part hereof for all purposes are hereby adopted and shall control the use and development of the Property and be adhered to in their entirety for the purposes of this PD-Planned Development zoning district (**“PD-78”**) with a base zoning of SF-4, Single Family Residential (Detached). In the event of conflict between the provisions of **Exhibit “D”** and provisions of any other City zoning regulations, including without limitation the regulations governing the SF-4 Single Family Residential (Detached) zoning district, **Exhibit “D”** shall control. Except in the event of a conflict as provided herein or as otherwise expressly provided herein, all UDC regulations shall apply to the Property and shall be cumulative.

B. Adoption Process. That the zoning regulations and district herein established for the Property has been adopted in accordance with the Comprehensive Plan for the purpose of promoting the health, safety, morals and the general welfare of the community. They have been designed, with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to provide adequate light and air; to prevent over-crowding of land; to avoid undue concentration of population; and to facilitate the adequate provision of transportation, water, sewerage, drainage and surface water, parks and other commercial needs and development of the community. They have been made after a full and complete hearing with reasonable consideration among other things of the character of the district and its peculiar

suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

C. Exhibits Governing Development and Use. The PD Design Statement (**Exhibit “C”**), Planned Development Standards (**Exhibit “D”**), the PD Concept Plan (**“Exhibit E”**), the Conceptual Landscape Plan (**Exhibit “F”**), the Preliminary Tree Preservation Plan (**Exhibit “G”**), and the Representative Elevations (**Exhibit “H”**) shall control the use and development of the Property in accordance with the provisions of this Ordinance, and all building permits and development requests shall be in accordance with applicable City ordinances, this Ordinance, and all Exhibits hereto. This Ordinance and all Exhibits hereto shall remain in effect as set forth herein unless amended by the City Council, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

D. Amendments. If a change to this Ordinance, including without limitation, the PD Design Statement, the Planned Development Standards, PD Concept Plan, and/or associated Ancillary Conceptual Plans is requested for the Property, the request shall be processed in accordance with the UDC and other development standards in effect at the time the change is requested for the proposed development and shall be subject to City Council approval, or as otherwise provided for in UDC Subsection 2.10.09, Minor PD Amendment or Adjustment, as amended.

E. Zoning Map. The official Zoning Map of the City of Corinth, Texas shall be amended in accordance with this Ordinance to document the change in zoning for the Property from SF-2 Single Family Residential (Detached) to PD-Planned Development Zoning District with a Base Zoning Designation of SF-4 Single Family Residential (Detached) and identified as Pearl’s Place Planned Development District No. 78 (“PD-78”).

SECTION 6. CUMULATIVE REPEALER

This Ordinance shall be cumulative of all other Ordinances and shall not repeal any of the provisions of such Ordinances except for those instances where there are direct conflicts with the provisions of this Ordinance. Ordinances, or parts thereof, in force at the time this Ordinance shall take effect and that are inconsistent with this Ordinance are hereby repealed to the extent that they are inconsistent with this Ordinance. Provided however, that any complaint, action, claim or lawsuit which has been initiated or has arisen under or pursuant to such other Ordinances on this date of adoption of this Ordinance shall continue to be governed by the provisions of such Ordinance and for that purpose the Ordinance shall remain in full force and effect.

SECTION 7. SEVERABILITY

If any section, subsection, clause, phrase, or provision of this Ordinance, or the application thereof to any person or circumstance, shall to any extent be held by a court of competent jurisdiction to be invalid, void, or unconstitutional, the remaining sections, subsections, clauses, phrases, and provisions of this Ordinance, or the application thereof to any person or circumstance, shall remain in full force and effect and shall in no way be affected, impaired or invalidated.

SECTION 8. SAVINGS/CONFLICT

In the event of a direct conflict between the provisions of this Ordinance and any other regulation or rule prescribed by charter, another ordinance, resolution or other authorization of the City, the provisions of this

ordinance shall control. Notwithstanding the foregoing, all rights and remedies of the City are expressly saved as to any and all complaints, actions, claims, or lawsuits, which have been initiated or have arisen under or pursuant to such conflicting Ordinance, or portion thereof, on the date of adoption of this Ordinance shall continue to be governed by the provisions of that Ordinance and for that purpose the conflicting Ordinance shall remain in full force and effect.

SECTION 9. PENALTY FOR VIOLATIONS

Any person, firm, or corporation who intentionally, knowingly or recklessly violates any provision of this Ordinance or the Code of Ordinances, as amended hereby, shall be subject to a fine not to exceed the sum of five hundred dollars (\$500.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense, provided, however, that in all cases involving violation of any provision of this Ordinance or Code of Ordinances, as amended hereby, governing the fire safety, zoning, or public health and sanitation shall be subject to a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such offense shall continue shall be deemed to constitute a separate offense.

SECTION 10. PUBLICATION/EFFECTIVE DATE

This Ordinance shall take effect upon its publication as required by law. The City Secretary is directed to publish the caption and penalty of this Ordinance as required by the City Charter and state law.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF CORINTH THIS 18th DAY OF SEPTEMBER, 2025.

APPROVED:

Bill Heidemann

AC74FAA88CA6468...

Bill Heidemann, Mayor

ATTEST:

DocuSigned by:

Lana Wylie

D77DD89FB0C3473...

Lana Wylie, City Secretary



APPROVED AS TO FORM:

DocuSigned by:

Patricia Adams

B5BAF55D871D428...

Patricia A. Adams, City Attorney



Old Town Surveying, LLC

Professional Land Surveyors

810 Office Park Circle, Ste. 130, Lewisville, TX 75057

Ph. 469-293-8079 info@oldtownsurveying.com

TFRN Number: 10194611

EXHIBIT "A"

13.060 Acre Tract

**William Wilson Survey, Abstract Number 1383 &
Brooks Beall Survey, Abstract Number 58
City of Corinth, Denton County, Texas**

BEING a 13.060 acre tract of land situated in the William Wilson Survey, Abstract Number 1383 and the Brooks Beall Survey, Abstract Number 58, Denton County, Texas, and being all those certain tracts of land described by deed to Hickory Creek Real Estate, LLC, recorded under Instrument Number 2023-84501, Official Public Records, Denton County, Texas (O.P.R.D.C.T.), and being all those certain tracts of land described by deed to Susie & Doc's Real Estate Company, LLC, recorded under Instrument Numbers 2019-115279, 2019-115280, 2019-115281 and 2019-115282, O.P.R.D.C.T., and being a portion of that certain tract of land described by deed to Johnny and Carrie Crabtree, recorded in Volume 5377, Page 1823, Deed Records, Denton County, Texas, and being a portion of that certain tract of land described by deed to John Franklin Baum, recorded in Volume 3090, Page 334, D.R.D.C.T., and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for corner being the northeast corner of the herein described tract, same point being the northeast corner of said Hickory Creek Real Estate Tract 1, and being the southeast corner of Lot 25, Block 2 of Terrace Oaks Phase One, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded under Document Number 2017-59, Plat Records, Denton County, Texas (P.R.D.C.T.), same point being in the west line of Lot 8, Block O of Ashford Park Phase 3, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded under Document Number 2024-290, P.R.D.C.T.;

THENCE South 00 degrees 28 minutes 21 seconds East, with the west line of said Ashford Park Phase 3, a distance of 366.64 feet to a point from which a 1/2 inch iron rod found bears North 29 degrees 29 minutes 21 seconds West at 1.06 feet;

THENCE South 00 degrees 21 minutes 55 seconds East, continuing on with the west line of said Ashford Park Phase 3, a distance of 418.55 feet to a 1/2 inch iron rod found for corner being the southwest corner of Lot 24X, of said Ashford Park Phase 3, same point being the southeast corner of said Hickory Creek Real Estate Tract 2, and being the northwest corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-70295, O.P.R.D.C.T., same point being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-66439, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 3042.00 feet;

(continued)

THENCE with the north right-of-way line of Lake Sharon Drive as described by said City of Corinth tract (Instr. No. 2010-66439), and with said curve to the left, through a central angle of 01 degrees 08 minutes 01 seconds, whose chord bears South 84 degrees 59 minutes 52 seconds West at 60.19 feet, an arc length of 60.19 feet to the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-66437, O.P.R.D.C.T., same point being the northwest corner of said City of Corinth tract (Instr. No. 2010-66437), and being the southwest corner of said Hickory Creek Real Estate Tract 2, from which a 1/2 inch iron rod found bears North 14 degrees 46 minutes 43 seconds West at 0.54 feet;

THENCE North 00 degrees 25 minutes 20 seconds East, a distance of 12.37 feet to a 1/2 inch iron rod found for corner being in the north line of said Baum tract, same point being the southeast corner of said Susie & Doc's tract (Instr. No. 2019-115282);

THENCE North 88 degrees 59 minutes 06 seconds West, with the south line of said Susie & Doc's tract (Instr. No. 2019-115282), a distance of 26.67 feet to a 1/2 inch iron rod found for corner being the apparent northwest corner of said Baum tract, same point being the northeast corner of said Susie & Doc's tract (Instr. No. 2019-115281);

THENCE South 10 degrees 52 minutes 34 seconds West, a distance of 16.17 feet to a 1/2 inch iron rod with blue cap stamped "*OLD TOWN SURVEYING*" (OTS) set for corner being the southeast corner of said Susie & Doc's tract (Instr. No. 2019-115281), same point being the northwest corner of said City of Corinth tract (Instr. No. 2010-66437), and being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-2075, O.P.R.D.C.T., and being the beginning of a non-tangent curve to the left, having a radius of 3042.00 feet;

THENCE with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth deed (Instr. No. 2010-2075), and with said curve to the left, through a central angle of 03 degrees 05 minutes 42 seconds, whose chord bears South 82 degrees 19 minutes 21 seconds West at 164.30 feet, an arc length of 164.32 feet to a 1/2 inch iron rod found for corner;

THENCE South 80 degrees 46 minutes 30 seconds West, continuing on with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth tract (Instr. No. 2010-2075), a distance of 219.63 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being the southwest corner of said Susie & Doc's tract (Instr. No. 2019-115281), same point being in the east line of said Crabtree tract;

THENCE South 00 degrees 09 minutes 32 seconds West, with the east line of said Crabtree tract and the west line of said City of Corinth tract (Instr. No. 2010-2075), a distance of 2.04 feet to a "X" set in concrete for corner being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2005-75057, O.P.R.D.C.T.;

THENCE South 81 degrees 25 minutes 23 seconds West, with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth deed (Instr. No. 2005-75057), a distance of 175.20 feet to a "X" set in concrete for corner;

THENCE South 84 degrees 09 minutes 02 seconds West, continuing on with the north right-of-way line of said Lake Sharon Drive as described by said City of Corinth deed (Instr. No. 2005-75057), a distance of 70.69 feet to a 1/2 inch iron rod with blue cap stamped "OTS" set for corner being in the west line of said Crabtree tract, same point being the northwest corner of said City of Corinth tract (Instr. No. 2005-75057), and being the northeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2010-64259, O.P.R.D.C.T., same point being the southeast corner of a tract of land described by deed to the City of Corinth, recorded under Instrument Number 2019-19351, O.P.R.D.C.T.;

(continued)

THENCE North 00 degrees 17 minutes 45 seconds East, passing at 0.83 feet a 1/2 inch iron rod found for the southeast corner of Lot 1, Block A, Glockel Addition, an addition to the City of Corinth, Denton County, Texas, according to the plat recorded under Document Number 2019-266, P.R.D.C.T., and continuing on for a total distance of 470.56 feet to a “T-Post” in concrete found for corner being the northwest corner of said Crabtree tract, same point being an ell corner of a tract of land described by deed to Peter Farrell and Angela Farrell, recorded under Instrument Number 2011-108430, O.P.R.D.C.T.;

THENCE South 89 degrees 48 minutes 45 seconds East, with the north line of said Crabtree tract and a south line of said Farrell tract, a distance of 51.42 feet to a 1/2 inch iron rod found for corner being the most easterly southeast corner of said Farrell tract, same point being the southwest corner of said Susie & Doc’s tract (Instr. No. 2019-115279);

THENCE North 00 degrees 12 minutes 43 seconds East, passing a 1/2 inch iron rod found for the northeast corner of said Farrell tract, and continuing on for a total distance of 417.09 feet to a 1/2 inch iron rod with blue cap stamped “OTS” set for corner being the northwest corner of said Susie & Doc’s tract (Instr. No. 2019-115279), same point being the northeast corner of a tract of land described by deed to Peter Farrell and Angela Farrell, recorded under Instrument Number 2011-45701, O.P.R.D.C.T., and being in the south line of Lot CA-5, of said Block 2, Terrace Oaks Phase One;

THENCE South 89 degrees 52 minutes 11 seconds East, with the south line of said Block 2, Terrace Oaks Phase One, passing a 1/2 inch iron rod found for the northeast corner of said Susie & Doc’s tract (Instr. No. 2019-115279) and the northwest corner of said Hickory Creek Real Estate Tract 1 at 442.64 feet, and continuing on for a total distance of 651.69 feet to the **POINT OF BEGINNING** and containing 13.060 acres of land, more or less.



| TREE COVERAGE | | | |
|---------------|--------------|-----------|--|
| LOT AREA | 568,910 S.F. | 13.06 AC. | |
| TREE AREA | 124,967 S.F. | 2.87 AC. | |
| COVERAGE | 21.97% | | |

EXISTING TREE COVERAGE
FOR
CORINTH
RESIDENTIAL SUBDIVISION
Being 54 Residential Lots & 3 X-Lots
13.060 acres Situated in the
Wm. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas

| No. | Date | Revisions | App. |
|-----|------|-----------|------|
| | | | |
| | | | |
| | | | |



**Ridinger
Associates, Inc.**
Civil Engineers - Planners

Firm No. 1969
550 S. Edwards Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

PEARL PLACE
SUBDIVISION
CORINTH, TEXAS

EXHIBIT B
EXISTING TREE
COVERAGE

| | |
|--------------|---------------|
| Scale: | 1" = 60' |
| Designed by: | LDR |
| Drawn by: | JRK |
| Checked by: | JRK |
| Date: | JUNE 17, 2025 |
| Project No. | 035-037 |

PEARL'S PLACE PLANNED DEVELOPMENT

EXHIBIT "C"

PD DESIGN STATEMENT

SECTION 1 - OVERVIEW

A. **PROJECT NAME/TITLE:** Pearl's Place

B. **LIST OF OWNERS/DEVELOPERS:** Rembert Enterprises, Inc.

C. **PROJECT ACREAGE AND LOCATION:**

The project site is approximately 13.06 acres on the north side of Lake Sharon Drive in the City of Corinth. The zoning request is for approximately 13.06 acres, Watson Addition.

D. **PROJECT OVERVIEW:**

The proposed Pearl Place residential subdivision will be a quality neighborhood with 54 residential lots and 3 rather large open space lots. The proposed lot types conform to the Future Land Use designation, and the subdivision will include sidewalk and right-of-way dedication including a trails.

E. **PROJECT DESCRIPTION:**

The proposed Planned Development (PD) is intended to provide for a quality development of a residential community taking advantage of the location and the concepts outlined in Envision Corinth 2040 Comprehensive Plan by promoting single-family dwelling types (50' Lots) (See Exhibit "C" – Concept Plan), providing a network of open spaces, preserving some mature trees, maintaining a density of 4.12 dwelling units per acre, and providing neighborhood scale retention facilities that serve as amenities with street frontage.

The current zoning of the property is SF-2 and we are intending to rezone the property as a PD with a base of SF-4.

SECTION 2 – BACKGROUND INFORMATION

A. **EXISTING SITE CONDITIONS**

The site is currently being used for a large residential estate(s) and/or agricultural purposes. It is accessed via Lake Sharon Oak Dr., and Ashford Park addition. The following is a brief description of the existing physical characteristics of the site which are depicted on the attached Exhibit X – Existing Site Conditions.

The project site is bound by Terance Oaks addition to the north, Ashford Park subdivision on the east, two undeveloped tracts of land to the west, and Lake Sharon Drive to the south. The project is surrounded by single-family residential zoning on 3 sides which includes SF-2, PD-39 (SF-4) and PD-57 (SF-4)

The subject site does not contain floodplain according to FEMA maps, wetland, or streams.

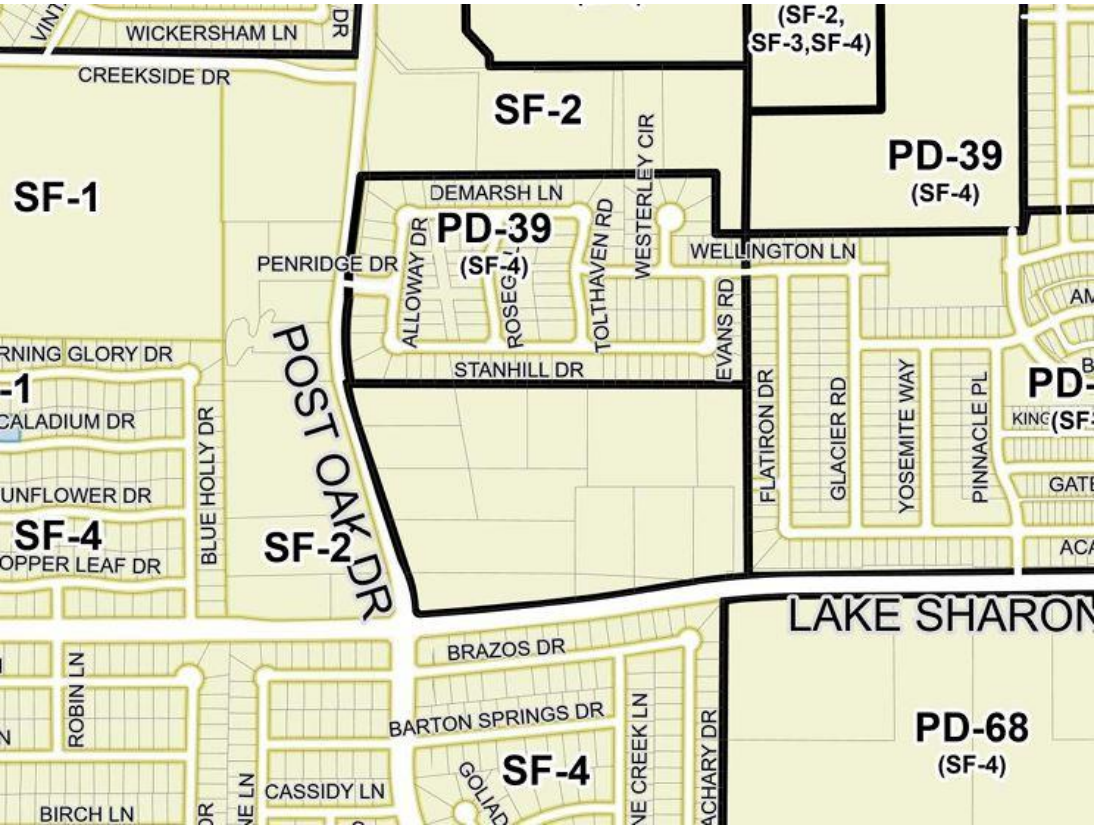
The subject site includes several structures that will be removed as part of development of the proposed single-family lots. The franchise utilities and public utilities currently serving those

PEARL’S PLACE PLANNED DEVELOPMENT

structures will be relocated as part of development going in proposed street right-of-way or easements.

B. CURRENT ZONING

The site is currently zoned SF-2 which permits a range of uses by right including among Single Family Detached Dwellings, Licensed Child-Care Home, Church or Other Place of Worship, Country Club, Gas or Oil Well Production, Police or Fire Station, etc.



Source: Source: [Corinth GIS](#) Zoning Map

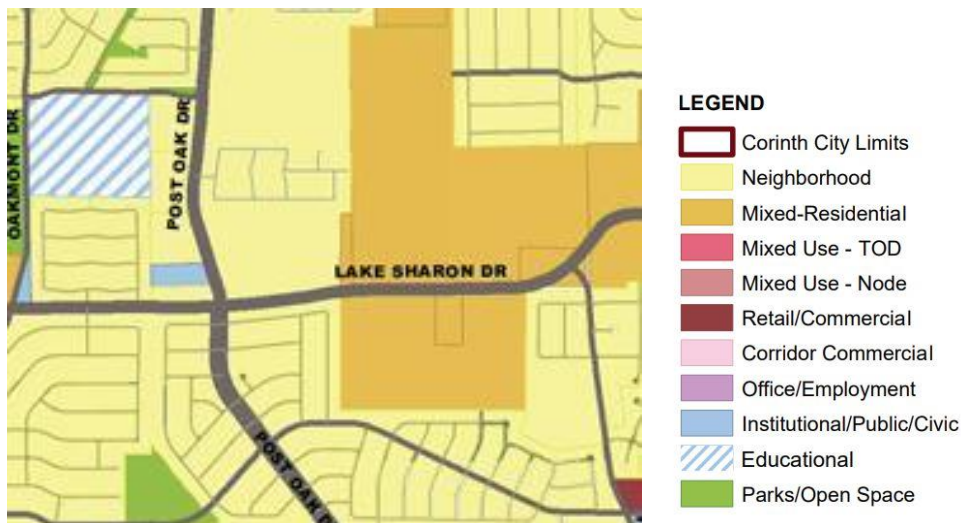
The existing zoning on the subject site permits the following:

| Existing SF-2 Dimensional Regulations | |
|--|------------|
| Minimum Front Yard Setback | 25 feet |
| Minimum Side Yard Setback: Interior Lot | 15 feet |
| Corner Lot | 25 feet |
| Minimum Rear Yard Setback | 20 feet |
| Minimum Lot Area | 14000 s.f. |
| Minimum Lot Depth | 110 feet |
| Maximum Density | N/A |
| Minimum Lot Width | 100 feet |
| Minimum Floor Area | 2000 s.f. |
| Maximum Building Area Coverage | 30% |

PEARL'S PLACE PLANNED DEVELOPMENT

C. FUTURE LAND USE

The Future Land Use Map shows this site as “Neighborhood”. The proposed “PD” aligns with this plan.

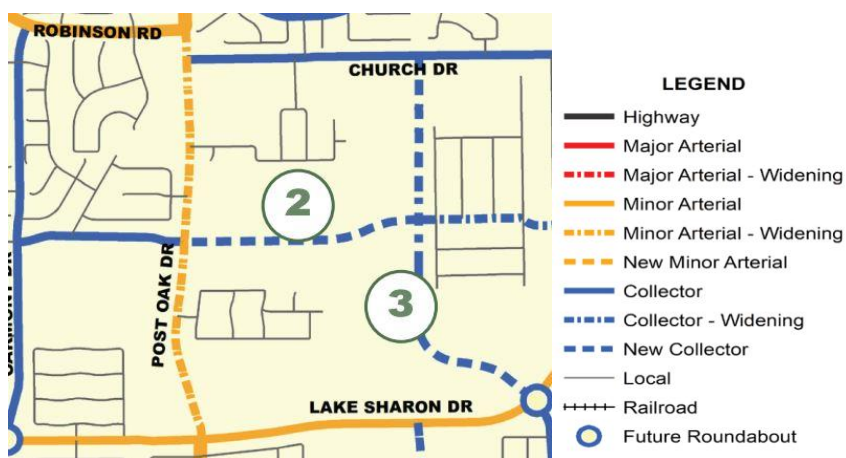


Source: [Envision Corinth 2040 Comprehensive Plan \(Adopted July 2020\)](#)

1. Strategic Focus Areas

The subject site is not located in a Strategic Focus Area identified by Envision Corinth 2040 Comprehensive Plan.

2. Mobility – Master Thoroughfare Plan



Source: [Envision Corinth 2040 Comprehensive Plan - Master Thoroughfare Plan \(Adopted July 2020\)](#)

3. Mobility – Active Transportation Plan

PEARL'S PLACE PLANNED DEVELOPMENT



D. PARK, RECREATION AND OPEN SPACE MASTER PLAN

There are no parks designated on this property, but there are 2 inviting Open Space lots along Lake Sharon Drive and another internal Open Space Lot. All open space areas shall be owned and maintained by the HOA.

EXHIBIT “D”

PLANNED DEVELOPMENT STANDARDS

SECTION 1: PURPOSE AND BASE DISTRICT

A. Purpose

The regulations set forth herein provide development standards for single family residential uses within the Pearl’s Place Planned Development District (PD). The boundaries of the PD are identified by metes and bounds on the Legal Description, Exhibit “A” to this Ordinance, and the Property shall be developed in accordance with these regulations and the Planned Development “PD” Concept Plan as depicted on Exhibit “E” and associated Ancillary Concept Plans. Any use that is not expressly authorized herein is expressly prohibited in this PD.

B. Base District

In this PD, the “SF-4” Single-Family Residential District (Detached) regulations of the Corinth Unified Development Code (UDC), Ordinance No. 13-05-02-08, as amended, shall apply to the Property except as modified herein. If a change to the Planned Development Standards, PD Concept Plan, and/or associated Ancillary Concept Plans is requested, the request shall be processed in accordance with the UDC and development standards in effect at the time the change is requested per the Planned Development Amendment Process.

SECTION 2 – USES AND AREA REGULATIONS

A. Permitted Uses and Use Regulations

In the proposed PD, no building, or lands shall be used, and no building shall be hereafter erected, reconstructed, enlarged, or converted unless otherwise provided for in the SF-4 Single Family Residential District (Detached) regulations of the UDC or otherwise permitted by this PD Ordinance. Permitted Uses in the SF-4, Single Family Residential (Detached) District, as listed in Subsection 2.07.03 of the UDC, shall be permitted in the proposed PD District. The residential building layout shall be in general conformance with the PD Concept Plan shown in Exhibit “E” attached hereto.

B. Dimensional Regulations

The Dimensional Regulations described in Section 2.08.04 of the Unified Development Code, Ordinance No.13-05-02-08, for the base zoning district SF-4 Single Family Residential (Detached) shall apply, except as modified below:

Table A – Dimensional Requirements

| | SF-4 Base | Dimensional Standards/Modifications |
|--|------------------|--|
| | | 50’ Lots |
| Minimum Front Yard Setback | 25 feet | 10 feet / 20 feet (1&2) |
| Minimum Side Yard Setback: Interior Lot | 5 feet | 5 feet (3) |
| Corner Lot | 15 feet | 10 feet (3&4) |
| Minimum Rear Yard Setback | 20 feet | 20 feet |
| Minimum Lot Area | 7,500 s.f. | 5,500 s.f. |
| Maximum Density | N/A | N/A |

| | | |
|---|------------|------------|
| Minimum Lot Width at Building Line | 70 feet | 50 feet |
| Minimum Lot Depth | 100 feet | 100 feet |
| Minimum Floor Area | 1,500 s.f. | 1,500 s.f. |
| Maximum Building Area Coverage | 30% | 55% (5) |

- 1) Covered front porches and other building elements excluding garages shall have a minimum front setback of 10 feet.
- 2) Garages shall have a minimum front setback of 20 feet.
- 3) Air conditioning units may be installed within side yard setbacks.
- 4) Corner lot setback only applicable to side yards adjacent to ROW.
- 5) Maximum building area coverage shall be exclusive of sidewalks, driveways, and accessory structures

C. Development Standards

Except as otherwise set forth, the Development Standards of Subsection 2.04.04, SF-4, Single Family Residential (Detached) of Subsection 2.04, “Residential Zoning Districts” of the UDC, for the SF-4 Single Family District (Detached and all other requirements of the UDC shall apply to development within the proposed PD, Pearl’s Place.

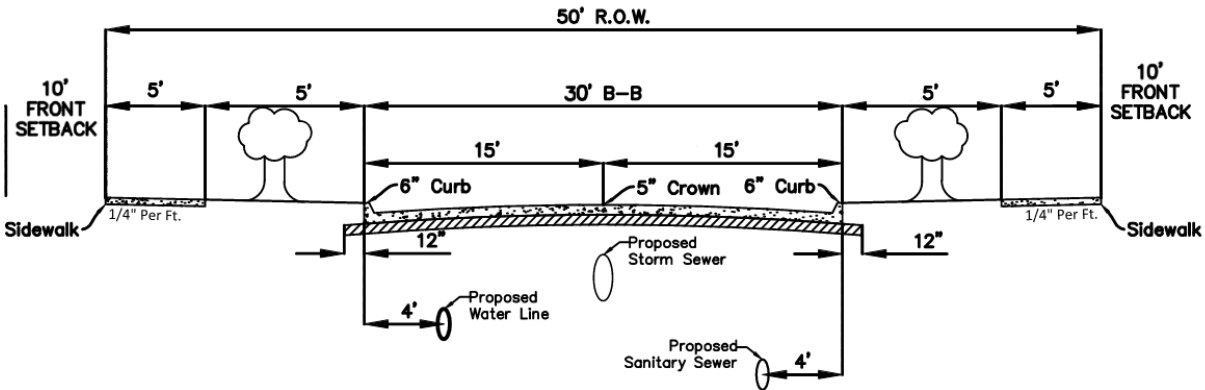
1. **UDC Subsection 2.07.07 Accessory Buildings and Uses** shall apply.
2. **UDC Subsection 2.09.01 Landscaping Regulations for Attached, and Detached Single Family Developments** shall apply, except as modified below:
 - a. Subsection 2.09.01.B.2.B.(a) and (b) **Required Landscaping and Location of Trees** shall be modified to require, at a minimum of 2 front yard trees, 1 of the front yard trees to be a shade tree planted in the Right-of-Way and 1 an ornamental tree planted in the front yard of the residential lot. The exact location and type of species of said Shade Trees shall be further defined in the detailed Landscape Plan to be submitted with Civil Plans. The detailed Landscape Plan shall serve as a guide for the Builder and City Staff during construction by identifying the species to be planted along each street as well as standards for Shade Trees to be located within the public right-of-way (in the “Parkway,” where Parkway is defined as the five foot (5’) or wider landscaped area between the sidewalk and curb). Shade Trees shall be located 25’-on-center within the parkway adjacent to common opens space lots as depicted on Exhibit “F” – Conceptual Landscape Plan.
 - i. The Builder shall be responsible for the installation of the Shade Trees and Ornamental Trees associated with each 50’ Lot as described above and shall be further deigned on the Landscape Plans at time of the Civil Plans as noted above. This shall include Shade Trees located in the Parkway adjacent to each lot (front and side frontage). The installation of the shade trees shall be satisfied prior to the issuance of the Certificate of Occupancy/Building Final.
 - ii. The Developer shall be responsible for installing Shade Trees and landscaping within all “Parkway” locations that abut common open space lots and Lake Sharon Drive as generally depicted on Exhibit “F”— Conceptual Landscape Plan and shall be further defined in the Landscape Plan to be submitted at time of Civil Plans.
 - iii. 50’ Lots shall be subject to the minimum landscape requirements including shrubs and ornamental tree(s) as set forth in Subsection 2.09.01.B. – Requirements for Single Family

- i. Metal roof accents
 - ii. Dormers
 - iii. Offsets within each building (a minimum of 5 feet to receive credit)
 - iv. Covered Front Porches (a minimum of 7' depth & seventy (70) square feet in size, including the front door entrance area)
 - v. Stoops (a minimum of 2 feet tall by 4 feet wide)
 - vi. Sconce lighting
 - vii. Decorative banding or molding
 - viii. Awnings or canopies
 - ix. Front porch columns
 - x. Bay windows
 - xi. Shutters
7. **UDC Subsection 2.09.05 Residential Adjacency Standards** shall apply.
8. **UDC Subsection 2.09.06 Nonresidential Architectural Standards** shall apply.
9. **UDC Subsection 2.09.07 Lighting and Glare Regulations** shall apply.
10. **UDC Subsection 3.05.10 Park and Trail Dedication** requires that Park and Trail dedication for Residentially Zoned Property be provided at a rate of 1 acre per/50 DU and/or fees-in-lieu-of or combination shall apply, except as modified below:
 - a. Exhibit "E" – PD Concept Plan shows 2.10 acres of common open space land to be owned and maintained in perpetuity by the Homeowners Association. Of that area, 1.08 acres shall satisfy the requirement of Subsection 3.05.10. Amenities within the common open space lots include site furnishing and associated enhanced landscaping located along sidewalks and trails.
 - i. Pedestrian access easements shall be provided to encompass all common open space lots
 - b. Existing Healthy Protected Trees and any required Mitigation Trees to be replanted within common open space lots shall be preserved in perpetuity and cared for by the Homeowner's Association.
 - c. A six foot (6") meandering trail within the southwestern common open space lot shall be provided that includes defined landscaped pockets to include sitting areas with benches, pedestrian decorative lighting, shade trees (at a rate of one (1) tree per thirty (30) linear feet of trail) and ornamental trees (at a rate of one (1) tree per every two (2) shade trees provided) located at intervals along the trail as generally depicted on Exhibit "F" – Conceptual Landscape Plan. In addition, the landscape pockets shall include a half circle of landscape plantings behind each bench. The wet retention pond within this common open space lot shall include a fountain feature.
 - d. The Developer shall remove the existing 4' sidewalk along Lake Sharon Drive and construct a new 10' wide trail with landscaping between the edge of curb and trail as generally depicted on Exhibit "F" – Conceptual Landscape Plan.

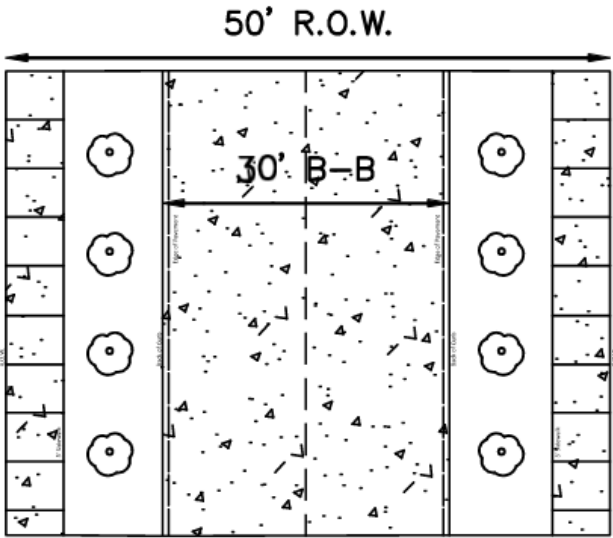
- e. Trails, sidewalks, and amenities located within the common open space (X-lots) shall be maintained and replaced in kind in the event of removal, disrepair, and/or destruction as provided for the restrictive covenants. The details of such ownership and maintenance obligation shall be set forth in the covenants and shall be recorded prior to recording of the Final Plat
- f. Trails shall utilize lighting in strategic locations in line with best practices. Location of lighting to be ultimately determined at the time of full landscape plan submittal.

11. UDC Subsection 3.05.12 Sidewalks and Subsection 3.05.13 Streets shall apply except as modified below:

- a. Typical Residential section below and depict permitted street widths and the location of curbs, parkways, street trees, sidewalks, and minimum front yard setbacks



**Typical Residential
Section View**



**Typical Residential
Plan View**

Not To Scale

12. **UDC Subsection 4.01 Sign Regulations** shall apply.

13. **UDC Subsection 4.02 Fence and Screening Regulations** shall apply, except as modified below:

- a. **UDC Subsection 4.02.11.E – Residential Construction Abuts a Collector or an Arterial Street** shall not apply.
- b. When a key lot has two (2) front yards and a house is constructed facing one (1) of the two (2) front yards, a fence constructed on the second front yard shall be constructed at the building line. Fences in front of the building line shall not be permitted in either front yard of a key lot.
- c. Fences installed on lots adjacent to internal open space shall be constructed of tubular metal (wrought iron) and installed by the Developer. Where tubular metal fencing is in place, a wood fence may not be constructed behind or in front of the tubular metal fence.
- d. The final plat shall reflect a 5' maintenance easement in each residential lot with a masonry fence to permit the maintenance of the screening and fencing. All masonry screening walls shall be owned and maintained by the HOA.
- e. Along the western PD boundary, the Developer shall install a 6' board-on-board wood fence adjacent to residential lots and a 6' tubular metal fence adjacent to open space lots.

SECTION 3: OTHER DEVELOPMENT CONSIDERATIONS

A. Access Management

1. The developer shall be responsible for the construction of all improvements associated with the extension of Arches Drive.
2. The developer shall be responsible for the construction of a left turn lane and median opening on Lake Sharon Drive to access the site. Existing shade trees within the median of Lake Sharon Drive required to be removed for the construction of the left turn lane shall be replaced with minimum 3" caliper inch shade trees within the median, with the final locations of these shade trees to be determined by Public Works.

B. Sidewalks

1. Sidewalks shall be installed by the home builder during the construction of each home with the exception of sidewalks and trails noted along and within the Common Open Space Lots and along Lake Sharon Drive which shall be installed by the Developer.

C. Lift Station

1. Opaque evergreen vegetative screening shall be installed by the developer around the perimeter of the lift station enclosure and shown on landscape plans at time of civil construction drawings.

D. Phasing

1. The proposed development will be constructed as a single phase.

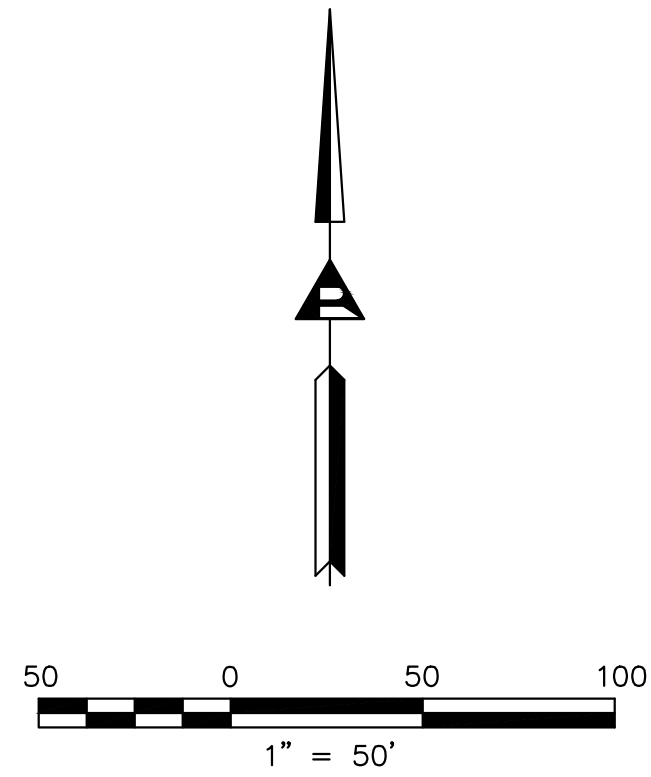
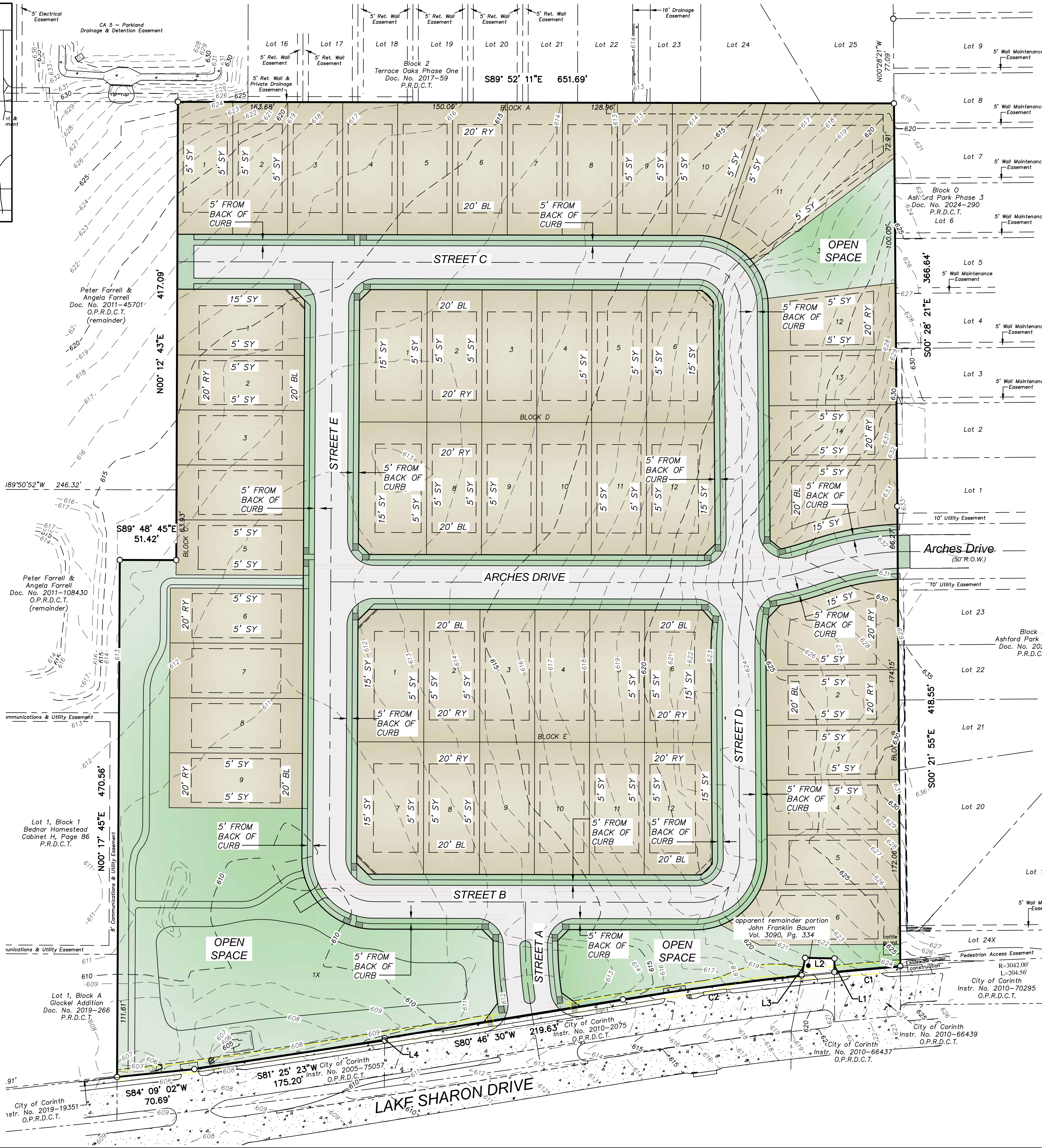
E. Traffic

1. A TIA is not required per the Traffic Threshold Worksheet.

F. Utility Infrastructure/Floodplain and Drainage

1. Water and sanitary sewer improvements will be constructed to provide service to all lots within the development in accordance with the City's published criteria. All water and sanitary sewer improvements are intended to be public and will be dedicated to the City upon completion of construction.
2. Franchise Utilities will be installed within a 10' Franchise Utility Easement along the front of all residential lots.
3. Storm drainage improvements will be designed and constructed in accordance with the City's published criteria. All storm improvements are intended to be public and will be dedicated to the City upon completion, excluding retention facilities that will be owned and maintained by the HOA.
4. There are no floodplains or wetlands present on the site.

VICINITY MAP: NOT TO SCALE



| SITE DATA SUMMARY | |
|-------------------|----------------|
| EXISTING ZONING | SF-2 |
| PROPOSED ZONING | PD (SF-4 BASE) |
| FUTURE LAND USE | NEIGHBORHOOD |
| | |
| GROSS AREA | 13.060 ACRES |
| INTERNAL ROW | 2.908 ACRES |
| | |
| | |
| NET AREA | 13.060 ACRES |
| IMPERVIOUS AREA | 1.777 ACRES |
| % IMPERVIOUS | 13.61% |
| DENSITY | 4.13 LOTS/AC |
| OPEN SPACE AREA | 2.10 ACRES |
| % OPEN SPACE | 16.08% |
| | |
| LOT SUMMARY | |
| MIN. 50' X 120' | 44 |
| MIN. 50' X 115' | 10 |
| | |
| TOTAL LOT COUNT | 54 |


LEGEND

| | |
|--|-------------------|
| | <i>LOTS</i> |
| | <i>OPEN SPACE</i> |
| | <i>PAVEMENT</i> |

| LINE # | DIRECTION | LENGTH |
|--------|-------------|--------|
| L1 | N00°25'20"E | 12.37' |
| L2 | N88°59'06"W | 26.67' |
| L3 | S10°52'34"W | 16.17' |
| L4 | S00°09'32"W | 2.04' |

| CURVE # | RADIUS | LENGTH | DELTA | CHORD |
|---------|----------|---------|----------|---------------------|
| C1 | 3042.00' | 60.19' | 1°08'01" | S84°59'52"W 60.19' |
| C2 | 3042.00' | 164.32' | 3°05'42" | S82°19'21"W 164.30' |

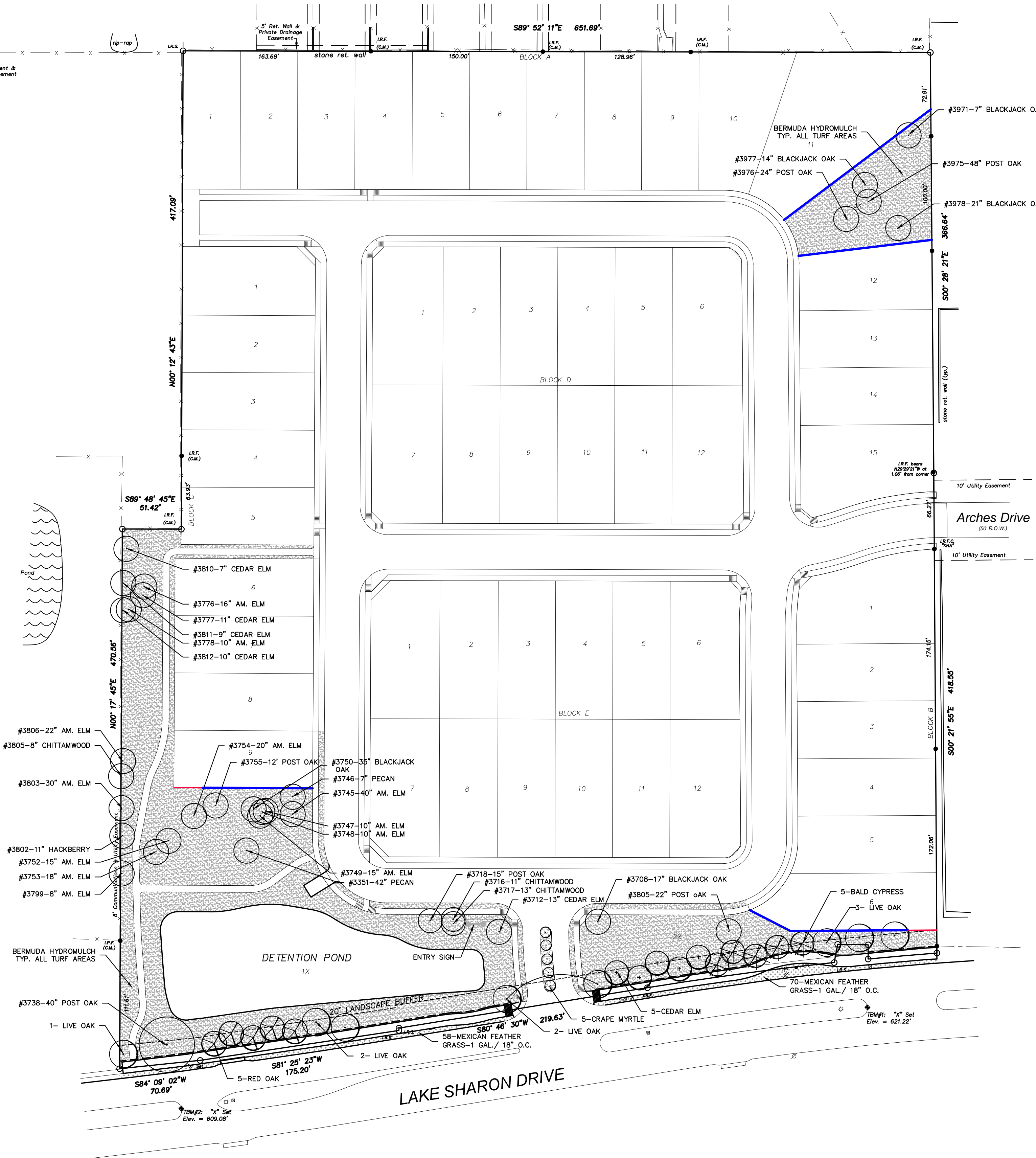
**Ridinger
Associates, Inc.**
Civil Engineers - Planners

 Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067
Tel. No. (972) 353-8000
Fax No. (972) 353-8011

PEARL PLACE
SUBDIVISION
CORINTH, TEXAS

EXHIBIT E
PD CONCEPT PLAN

| | |
|--------------|---------------|
| Scale: | 1" = 50' |
| Designed by: | LDR |
| Drawn by: | MAB |
| Checked by: | JRK |
| Date: | JUNE 17, 2025 |
| Project No. | 035-037 |



GENERAL LANDSCAPE NOTES

1. All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
2. All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
3. Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
4. All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
5. All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
6. Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
7. All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.

PLANT LIST

- 8- LIVE OAK / Quercus virginiana / 3" cal. / 7' ht. /5' sp. /container grown
- 5- RED OAK / Quercus shumardii / 3" cal. / 7' ht. /5' sp. /container grown
- 5- CEDAR ELM / ulmus crassifolia / 3" cal. / 7' ht. /5' sp. /container grown
- 5- BALD CYPRESS / taxodium distichum / 3" cal. / 7' ht. /5' sp. /container grown
- 5-CRAPE MYRTLE / trachelospermum indica 'Natchez' / 15 Gal. /3 trunks /in bloom
- 128-MEXICAN FEATHER GRASS / Nassalla tenuissima / 1 Gal. / 18" O. C.
- BERMUDAGRASS / Cynodon dactylon / Hydromulch

LANDSCAPE TABULATIONS

PERIMETER LANDSCAPE:

LANDSCAPE EDGE:

- LAKE SHARON ROAD MINOR ARTERIAL: 20' LANDSCAPE EDGE REQUIRED
- 20' Landscape Edge Provided
- LAKE SHARON ROAD FRONTAGE: 780 LF LESS 40 LF ACCESS = 680 LF
- FRONTAGE TREES: 680/30 = 23 CANOPY TREES REQUIRED / 23 CANOPY TREES BY DEVELOPER PROVIDED.
- NATIVE PLANTING (MEXICAN FEATHER GRASS) PROVIDED BETWEEN 10' TRAIL AND LAKE SHARON DRIVE.

FRONT YARD LANDSCAPE REQUIREMENTS:

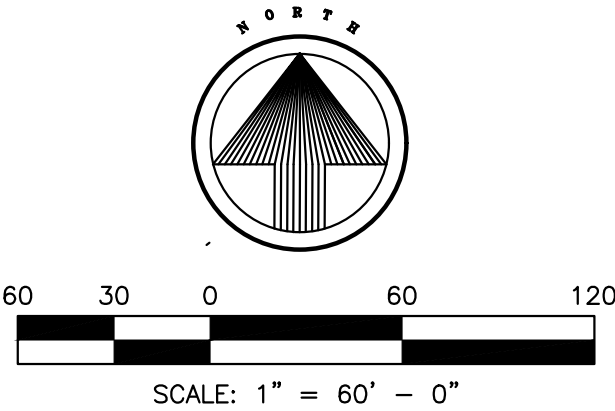
- Required front yard shade trees 25' O. C. shall be provided by develper within the
- 5' Landscape Parkway between the curb and sidewalk within the R.O.W.
- Shade trees shall be provided by developer within the 5' Landscape Parkway adjacent to open space areas and the sides of lots facing the R.O.W.
- All required site trees to be equipped with tree bubbler irrigation system.

NOTE: ALL REQUIRED TREES IN FRONT YARD, SIDE TARD AND SIDE YARDS FACING THE R.O.W. TO BE INSTALLED BY DEVELOPER UPON COMPLETION OF CONSTRUCTION. INDIVIDUAL RESIDENTIAL LOT TREES REQUIRED BY ORDINANCE TO BE INSTALLED BY BUILDER UPON COMPLETION OF CONSTRUCTION.

8. All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
9. All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
10. All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
11. All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
12. All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
13. Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

1. All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
2. Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.



⊙ DENOTES EXISTING TREE TO BE PRESERVED.

| FENCE/WALL LEGEND | |
|-------------------|----------------------------|
| | 6' HT. METAL FENCE |
| | 6' HT. MASONRY SCREEN WALL |

ST. CLAIR DESIGN GROUP, INC.

Landscape Architecture

P. O. Box 12519
Dallas, Texas 75225
T: 214-454-9934

DESIGN BY: JBS
DRAWN BY: JBS
CHECKED BY: SCDO
DATE: MAY 27, 2025

DATE SEALED 05/27/25

PEARL PLACE
RESIDENTIAL SUBDIVISION
*Being 54 Residential Lots & 2 X-Lots
13.060 acres Situated in the
Wm. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas*

Ridger
Associates, Inc.
Civil Engineers - Planners

Firm No. 1969
550 S. Edwards Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

| | | | | | |
|-------|---------|-------------------|-----------|------|------|
| | | | | | |
| No. 1 | 5/27/25 | PER CITY COMMENTS | Revisions | Date | App. |

PEARL PLACE
SUBDIVISION
CORINTH, TEXAS

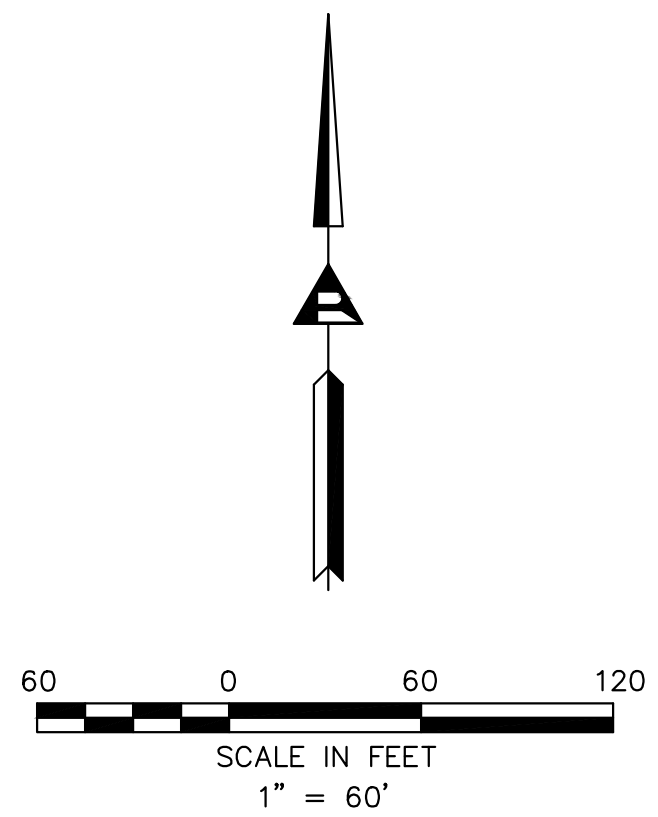
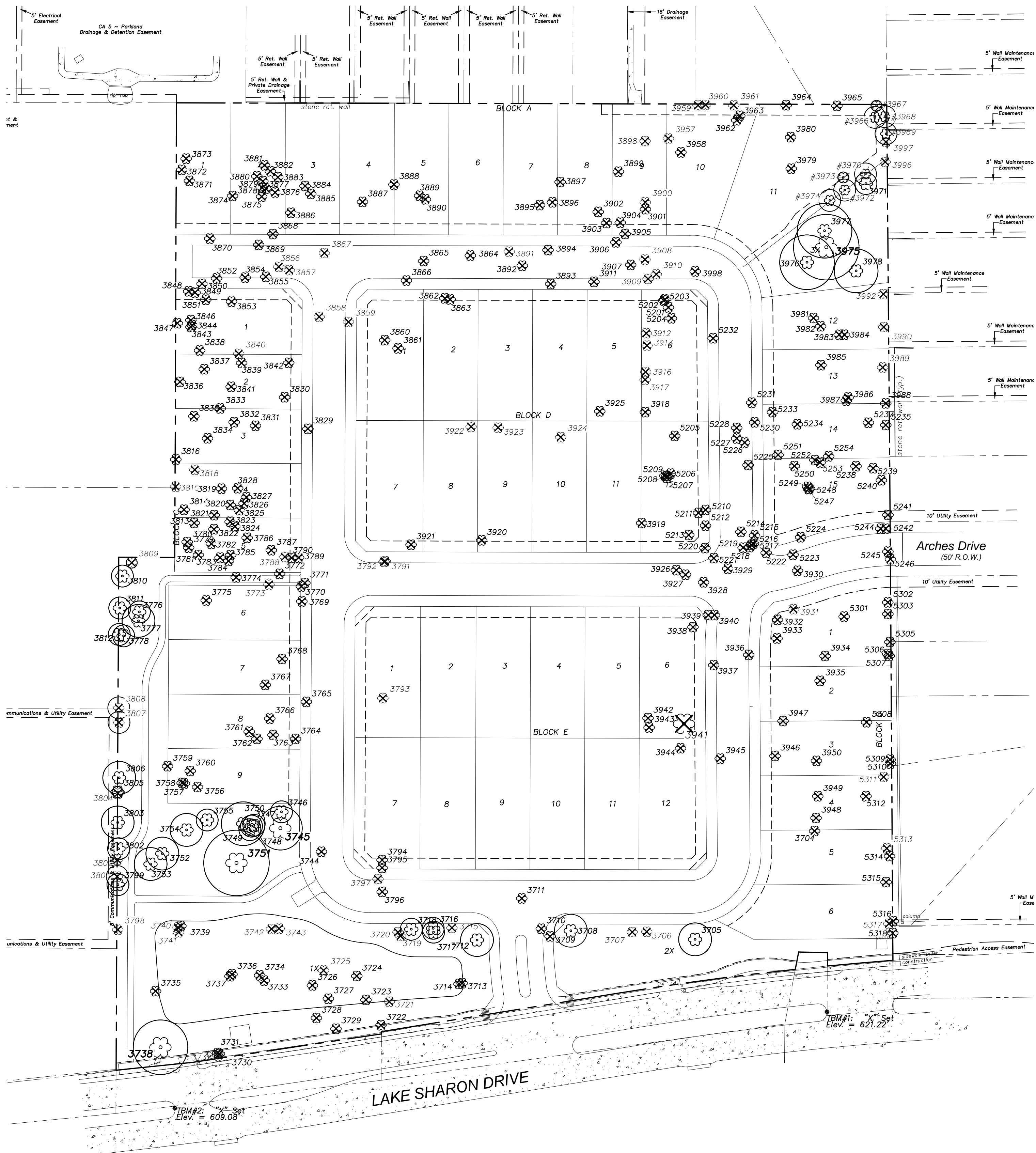
EXHIBIT F
CONCEPTUAL
LANDSCAPE PLAN

Scale: 1" = 60'-0"

Designed by: JBS
Drawn by: JBS
Checked by: SCDO
Date: MAY 27, 2025
Project No. 035-037

SHEET

LP-1



LEGEND







-  PROTECTED TREE TO BE PRESERVED
 APPROXIMATE CANOPY EXTENT OF PROTECTED TREES TO BE PRESERVED
 HERITAGE TREE TO BE REMOVED
 PROTECTED TREE TO BE REMOVED
 UNPROTECTED TREE TO BE REMOVED

EXHIBIT G
PRELIMINARY TREE
PRESERVATION PLAN
FOR
CORINTH
RESIDENTIAL SUBDIVISION
Being 54 Residential Lots & 3 X-Lots
13.060 acres Situated in the
1/4m. Wilson Survey, Abstract No. 1383 &
Brooks Beall Survey, Abstract No. 58
in the
City of Corinth
Denton County, Texas

| No. | Date | Revisions | App. |
|-----|------|-----------|------|
| | | | |
| | | | |
| | | | |

Ridinger
Associates, Inc.
Civil Engineers - Planners

 Firm No. 1969
550 S. Edmonds Lane, Suite 101
Lewisville, Texas 75067

Tel. No. (972) 353-8000
Fax No. (972) 353-8011

PEARL PLACE
SUBDIVISION
CORINTH, TEXAS

EXHIBIT G
PRELIMINARY TREE
PRESERVATION PLAN

| | |
|--------------|---------------|
| Scale: | 1" = 60' |
| Designed by: | LDR |
| Drawn by: | JRK |
| Checked by: | JRK |
| Date: | JUNE 17, 2025 |
| Project No. | 035-037 |

SHEET
TPP-1

| TAG# | SPECIES | DBH | RAD | ONPY/SO/F COND | NOTES | STATUS | PRESERVE/REMOVE |
|------|---------------------------------------|-----|-----|----------------|------------|-------------|-----------------|
| 3704 | POST OAK QUERCUS STELLATA | 24 | 30 | 2826 GOOD | | PROTECTED | REMOVE |
| 3705 | POST OAK QUERCUS STELLATA | 22 | 19 | 706.5 GOOD | | PROTECTED | PRESERVE |
| 3706 | HACKBERRY CELTIS OCCIDENTALIS | 35 | 20 | 1256 FAIR | | UNPROTECTED | REMOVE |
| 3707 | HACKBERRY CELTIS OCCIDENTALIS | 26 | 19 | 706.5 FAIR | | UNPROTECTED | REMOVE |
| 3708 | BLACK JACK OAK QUERCUS MARLANDICA | 17 | 19 | 706.5 FAIR | | PROTECTED | PRESERVE |
| 3709 | POST OAK QUERCUS STELLATA | 17 | 19 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3710 | BLACK JACK OAK QUERCUS MARLANDICA | 15 | 10 | 314 FAIR | | PROTECTED | REMOVE |
| 3711 | POST OAK QUERCUS STELLATA | 17 | 15 | 706.5 FAIR | | PROTECTED | REMOVE |
| 3712 | CEDAR ELM ULMUS CRASSIFOLIA | 13 | 19 | 706.5 GOOD | | PROTECTED | PRESERVE |
| 3713 | POST OAK QUERCUS STELLATA | 18 | 19 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3714 | POST OAK QUERCUS STELLATA | 19 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3715 | HACKBERRY CELTIS OCCIDENTALIS | 8 | 5 | 78.5 GOOD | | UNPROTECTED | REMOVE |
| 3716 | CHITTAMWOOD SIDEROXYLON LANUNGOSUM | 11 | 10 | 314 GOOD | | PROTECTED | PRESERVE |
| 3717 | CHITTAMWOOD SIDEROXYLON LANUNGOSUM | 13 | 10 | 314 FAIR | MULTITRUNK | PROTECTED | REMOVE |
| 3718 | POST OAK QUERCUS STELLATA | 15 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3719 | HACKBERRY CELTIS OCCIDENTALIS | 20 | 15 | 706.5 GOOD | MULTITRUNK | UNPROTECTED | REMOVE |
| 3720 | HACKBERRY CELTIS OCCIDENTALIS | 14 | 10 | 314 GOOD | | UNPROTECTED | REMOVE |
| 3721 | POST OAK QUERCUS STELLATA | 18 | 10 | 314 FAIR | | UNPROTECTED | REMOVE |
| 3722 | CEDAR ELM ULMUS CRASSIFOLIA | 8 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3723 | POST OAK QUERCUS STELLATA | 24 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3724 | POST OAK QUERCUS STELLATA | 28 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3725 | BOISD'ARC MAQUILA POMIFERA | 26 | 20 | 1256 FAIR | | UNPROTECTED | REMOVE |
| 3726 | POST OAK QUERCUS STELLATA | 10 | 10 | 314 FAIR | | PROTECTED | REMOVE |
| 3727 | POST OAK QUERCUS STELLATA | 12 | 15 | 706.5 FAIR | | PROTECTED | REMOVE |
| 3728 | CEDAR ELM ULMUS CRASSIFOLIA | 30 | 20 | 1256 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3729 | POST OAK QUERCUS STELLATA | 10 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3730 | POST OAK QUERCUS STELLATA | 19 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3731 | POST OAK QUERCUS STELLATA | 19 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3732 | HACKBERRY CELTIS OCCIDENTALIS | 15 | 15 | 706.5 GOOD | | UNPROTECTED | REMOVE |
| 3733 | POST OAK QUERCUS STELLATA | 20 | 19 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3734 | POST OAK QUERCUS STELLATA | 16 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3735 | AMERICAN ELM ULMUS AMERICANA | 16 | 25 | 1962.5 GOOD | | PROTECTED | REMOVE |
| 3736 | POST OAK QUERCUS STELLATA | 14 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3737 | POST OAK QUERCUS STELLATA | 40 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3738 | POST OAK QUERCUS STELLATA | 43 | 25 | 1932.5 GOOD | HERITAGE | PROTECTED | PRESERVE |
| 3739 | AMERICAN ELM ULMUS AMERICANA | 14 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3740 | HACKBERRY CELTIS OCCIDENTALIS | 12 | 20 | 1256 GOOD | | UNPROTECTED | REMOVE |
| 3741 | HACKBERRY CELTIS OCCIDENTALIS | 15 | 15 | 706.5 GOOD | | UNPROTECTED | REMOVE |
| 3742 | HACKBERRY CELTIS OCCIDENTALIS | 12 | 15 | 706.5 POOR | | UNPROTECTED | REMOVE |
| 3743 | HACKBERRY CELTIS OCCIDENTALIS | 14 | 15 | 706.5 GOOD | MULTITRUNK | UNPROTECTED | REMOVE |
| 3744 | AMERICAN ELM ULMUS AMERICANA | 24 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3745 | AMERICAN ELM ULMUS AMERICANA | 40 | 20 | 1256 GOOD | HERITAGE | PROTECTED | PRESERVE |
| 3746 | PECAN CARAYALLINOENINIS | 7 | 10 | 314 GOOD | | PROTECTED | PRESERVE |
| 3747 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 GOOD | | PROTECTED | PRESERVE |
| 3748 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 GOOD | | PROTECTED | PRESERVE |
| 3749 | AMERICAN ELM ULMUS AMERICANA | 19 | 10 | 314 GOOD | MULTITRUNK | PROTECTED | PRESERVE |
| 3750 | BLACK JACK OAK QUERCUS MARLANDICA | 35 | 20 | 1256 GOOD | | PROTECTED | PRESERVE |
| 3751 | PECAN CARAYALLINOENINIS | 42 | 30 | 2826 GOOD | HERITAGE | PROTECTED | PRESERVE |
| 3752 | AMERICAN ELM ULMUS AMERICANA | 19 | 15 | 706.5 GOOD | | PROTECTED | PRESERVE |
| 3753 | AMERICAN ELM ULMUS AMERICANA | 18 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | PRESERVE |
| 3754 | AMERICAN ELM ULMUS AMERICANA | 20 | 15 | 706.5 GOOD | | PROTECTED | PRESERVE |
| 3755 | PECAN CARAYALLINOENINIS | 12 | 10 | 314 GOOD | MULTITRUNK | PROTECTED | PRESERVE |
| 3756 | PECAN CARAYALLINOENINIS | 15 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3757 | PECAN CARAYALLINOENINIS | 19 | 10 | 314 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3758 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3759 | AMERICAN ELM ULMUS AMERICANA | 18 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3760 | PECAN CARAYALLINOENINIS | 15 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3761 | AMERICAN ELM ULMUS AMERICANA | 28 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3762 | AMERICAN ELM ULMUS AMERICANA | 21 | 19 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3763 | CEDAR ELM ULMUS CRASSIFOLIA | 18 | 19 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3764 | AMERICAN ELM ULMUS AMERICANA | 20 | 19 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3765 | AMERICAN ELM ULMUS AMERICANA | 27 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3766 | CEDAR ELM ULMUS CRASSIFOLIA | 12 | 19 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3767 | AMERICAN ELM ULMUS AMERICANA | 33 | 20 | 1256 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3768 | AMERICAN ELM ULMUS AMERICANA | 20 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3769 | CEDAR ELM ULMUS CRASSIFOLIA | 11 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3770 | AMERICAN ELM ULMUS AMERICANA | 37 | 10 | 314 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3771 | AMERICAN ELM ULMUS AMERICANA | 16 | 10 | 314 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3772 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3773 | HACKBERRY CELTIS OCCIDENTALIS | 11 | 5 | 78.5 GOOD | MULTITRUNK | UNPROTECTED | REMOVE |
| 3774 | PECAN CARAYALLINOENINIS | 16 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3775 | PECAN CARAYALLINOENINIS | 18 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3776 | AMERICAN ELM ULMUS AMERICANA | 16 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3777 | AMERICAN ELM ULMUS AMERICANA | 11 | 15 | 706.5 GOOD | | PROTECTED | PRESERVE |
| 3778 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 FAIR | | PROTECTED | PRESERVE |
| 3779 | AMERICAN ELM ULMUS AMERICANA | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3780 | AMERICAN ELM ULMUS AMERICANA | 9 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3781 | AMERICAN ELM ULMUS AMERICANA | 19 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3782 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 12 | 5 | 78.5 FAIR | | PROTECTED | REMOVE |
| 3783 | CHITTAMWOOD SIDEROXYLON LANUNGOSUM | 8 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3784 | PECAN CARAYALLINOENINIS | 14 | 5 | 78.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3785 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3786 | AMERICAN ELM ULMUS AMERICANA | 16 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3787 | AMERICAN ELM ULMUS AMERICANA | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3788 | HACKBERRY CELTIS OCCIDENTALIS | 16 | 10 | 314 GOOD | | UNPROTECTED | REMOVE |
| 3789 | CEDAR ELM ULMUS CRASSIFOLIA | 21 | 10 | 314 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3790 | CEDAR ELM ULMUS CRASSIFOLIA | 8 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3791 | HACKBERRY CELTIS OCCIDENTALIS | 11 | 10 | 314 FAIR | | UNPROTECTED | REMOVE |
| 3792 | HACKBERRY CELTIS OCCIDENTALIS | 7 | 10 | 314 FAIR | | UNPROTECTED | REMOVE |
| 3793 | HONEY LOCUST GLAUCIA TIROCANITHA | 7 | 10 | 314 FAIR | | UNPROTECTED | REMOVE |
| 3794 | AMERICAN ELM ULMUS AMERICANA | 8 | 10 | 314 FAIR | | PROTECTED | REMOVE |
| 3795 | AMERICAN ELM ULMUS AMERICANA | 14 | 15 | 706.5 FAIR | MULTITRUNK | PROTECTED | REMOVE |
| 3796 | AMERICAN ELM ULMUS AMERICANA | 6 | 15 | 706.5 FAIR | | PROTECTED | REMOVE |
| 3797 | HACKBERRY CELTIS OCCIDENTALIS | 8 | 10 | 314 POOR | | UNPROTECTED | REMOVE |
| 3798 | HACKBERRY CELTIS OCCIDENTALIS | 8 | 10 | 314 POOR | | UNPROTECTED | REMOVE |
| 3799 | AMERICAN ELM ULMUS AMERICANA | 8 | 10 | 314 FAIR | | PROTECTED | PRESERVE |
| 3800 | AMERICAN ELM ULMUS AMERICANA | 6 | 10 | 314 POOR | | UNPROTECTED | PRESERVE |
| 3801 | HACKBERRY CELTIS OCCIDENTALIS | 11 | 5 | 78.5 FAIR | MULTITRUNK | UNPROTECTED | PRESERVE |
| 3802 | AMERICAN ELM ULMUS AMERICANA | 12 | 10 | 314 FAIR | MULTITRUNK | PROTECTED | PRESERVE |
| 3803 | AMERICAN ELM ULMUS AMERICANA | 30 | 15 | 706.5 FAIR | MULTITRUNK | PROTECTED | PRESERVE |
| 3804 | HACKBERRY CELTIS OCCIDENTALIS | 7 | 5 | 78.5 FAIR | | UNPROTECTED | PRESERVE |
| 3805 | CHITTAMWOOD SIDEROXYLON LANUNGOSUM | 8 | 5 | 78.5 FAIR | | PROTECTED | PRESERVE |
| 3806 | AMERICAN ELM ULMUS AMERICANA | 22 | 15 | 706.5 FAIR | | PROTECTED | PRESERVE |
| 3807 | AMERICAN ELM ULMUS AMERICANA | 8 | 10 | 314 POOR | | UNPROTECTED | PRESERVE |
| 3808 | AMERICAN ELM ULMUS AMERICANA | 12 | 10 | 314 POOR | | UNPROTECTED | PRESERVE |
| 3809 | AMERICAN ELM ULMUS AMERICANA | 9 | 5 | 78.5 POOR | | UNPROTECTED | PRESERVE |
| 3810 | AMERICAN ELM ULMUS AMERICANA | 7 | 10 | 314 FAIR | | PROTECTED | PRESERVE |
| 3811 | CEDAR ELM ULMUS CRASSIFOLIA | 9 | 10 | 314 FAIR | | PROTECTED | PRESERVE |

| TAG# | SPECIES | DBH | RAD | ONPY/SO/F COND | NOTES | STATUS | PRESERVE/REMOVE |
|------|---------------------------------------|-----|-----|----------------|------------|-------------|-----------------|
| 3812 | CEDAR ELM ULMUS CRASSIFOLIA | 10 | 10 | 314 FAIR | | PROTECTED | PRESERVE |
| 3813 | AMERICAN ELM ULMUS AMERICANA | 30 | 15 | 706.5 FAIR | | PROTECTED | REMOVE |
| 3814 | PEAR (BRADFORD) PYRUS CALLERANA | 10 | 10 | 314 FAIR | | PROTECTED | REMOVE |
| 3815 | HACKBERRY CELTIS OCCIDENTALIS | 12 | 5 | 78.5 FAIR | | UNPROTECTED | REMOVE |
| 3816 | CEDAR ELM ULMUS CRASSIFOLIA | 9 | 5 | 78.5 FAIR | | PROTECTED | REMOVE |
| 3818 | HACKBERRY CELTIS OCCIDENTALIS | 13 | 10 | 314 FAIR | | UNPROTECTED | REMOVE |
| 3819 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 13 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3820 | AMERICAN ELM ULMUS AMERICANA | 20 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3821 | AMERICAN ELM ULMUS AMERICANA | 9 | 5 | 78.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3822 | AMERICAN ELM ULMUS AMERICANA | 8 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3823 | AMERICAN ELM ULMUS AMERICANA | 14 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3824 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 7 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3825 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 15 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3826 | AMERICAN ELM ULMUS AMERICANA | 10 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3827 | AMERICAN ELM ULMUS AMERICANA | 9 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3828 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 17 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3829 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 19 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3830 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 15 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3831 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 14 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3832 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 17 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3833 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 14 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3834 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 12 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3835 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 14 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3836 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 14 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3837 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 12 | 5 | 78.5 FAIR | | PROTECTED | REMOVE |
| 3838 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 15 | 10 | 314 FAIR | | PROTECTED | REMOVE |
| 3839 | AMERICAN ELM ULMUS AMERICANA | 24 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3840 | HACKBERRY CELTIS OCCIDENTALIS | 7 | 5 | 78.5 POOR | | UNPROTECTED | REMOVE |
| 3841 | CHITTAMWOOD SIDEROXYLON LANUNGOSUM | 10 | 10 | 314 FAIR | | PROTECTED | REMOVE |
| 3842 | AMERICAN ELM ULMUS AMERICANA | 24 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3843 | BLACK JACK OAK QUERCUS MARLANDICA | 28 | 15 | 706.5 GOOD | MULTITRUNK | PROTECTED | REMOVE |
| 3844 | BLACK JACK OAK QUERCUS MARLANDICA | 8 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3845 | BLACK JACK OAK QUERCUS MARLANDICA | 8 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3847 | BLACK JACK OAK QUERCUS MARLANDICA | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3848 | BLACK JACK OAK QUERCUS MARLANDICA | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3849 | BLACK JACK OAK QUERCUS MARLANDICA | 9 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3850 | BLACK JACK OAK QUERCUS MARLANDICA | 9 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3851 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 12 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3852 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 14 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3853 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 18 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3854 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 16 | 10 | 314 POOR | | PROTECTED | REMOVE |
| 3855 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 12 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3856 | HACKBERRY CELTIS OCCIDENTALIS | 12 | 10 | 314 GOOD | | UNPROTECTED | REMOVE |
| 3857 | HACKBERRY CELTIS OCCIDENTALIS | 15 | 10 | 314 GOOD | | UNPROTECTED | REMOVE |
| 3858 | COTTONWOOD POPULUS DELTOIDES | 8 | 5 | 78.5 GOOD | | UNPROTECTED | REMOVE |
| 3859 | COTTONWOOD POPULUS DELTOIDES | 7 | 5 | 78.5 GOOD | | UNPROTECTED | REMOVE |
| 3860 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 18 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3861 | POST OAK QUERCUS STELLATA | 15 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3862 | EASTERN RED EDAR JUNIPERUS VIRGINIANA | 11 | 5 | 78.5 GOOD | | PROTECTED | REMOVE |
| 3863 | BLACK JACK OAK QUERCUS MARLANDICA | 18 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3864 | PECAN CARAYALLINOENINIS | 9 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3865 | PECAN CARAYALLINOENINIS | 11 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3866 | PECAN CARAYALLINOENINIS | 35 | 20 | 1256 GOOD | | PROTECTED | REMOVE |
| 3867 | PECAN CARAYALLINOENINIS | 14 | 10 | 314 POOR | | UNPROTECTED | REMOVE |
| 3868 | PECAN CARAYALLINOENINIS | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3869 | PECAN CARAYALLINOENINIS | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3870 | CHITTAMWOOD SIDEROXYLON LANUNGOSUM | 10 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3871 | PECAN CARAYALLINOENINIS | 19 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3872 | PECAN CARAYALLINOENINIS | 19 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3873 | PECAN CARAYALLINOENINIS | 12 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3874 | PECAN CARAYALLINOENINIS | 17 | 15 | 706.5 GOOD | | PROTECTED | REMOVE |
| 3875 | PECAN CARAYALLINOENINIS | 19 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3876 | PECAN CARAYALLINOENINIS | 11 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3877 | PECAN CARAYALLINOENINIS | 10 | 10 | 314 GOOD | | PROTECTED | REMOVE |
| 3878 | PECAN CARAYALLINOENINIS | 7 | 10 | 314 GOOD | | PROTECTED | |

EXHIBIT H - REPRESENTATIVE ELEVATIONS



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